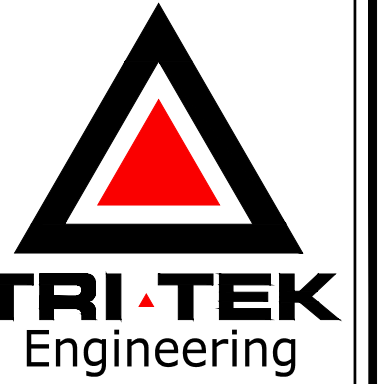


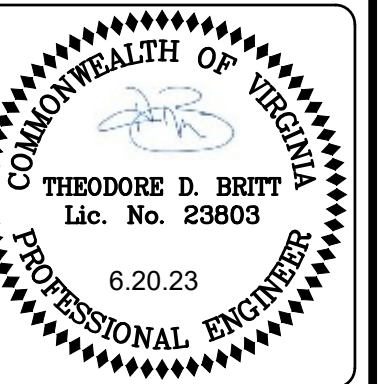
GENERALIZED DEVELOPMENT PLAN

FAIRFAX UNIVERSITY – HERNDON CAMPUS



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FAIRFAX UNIVERSITY
HERNDON CAMPUS

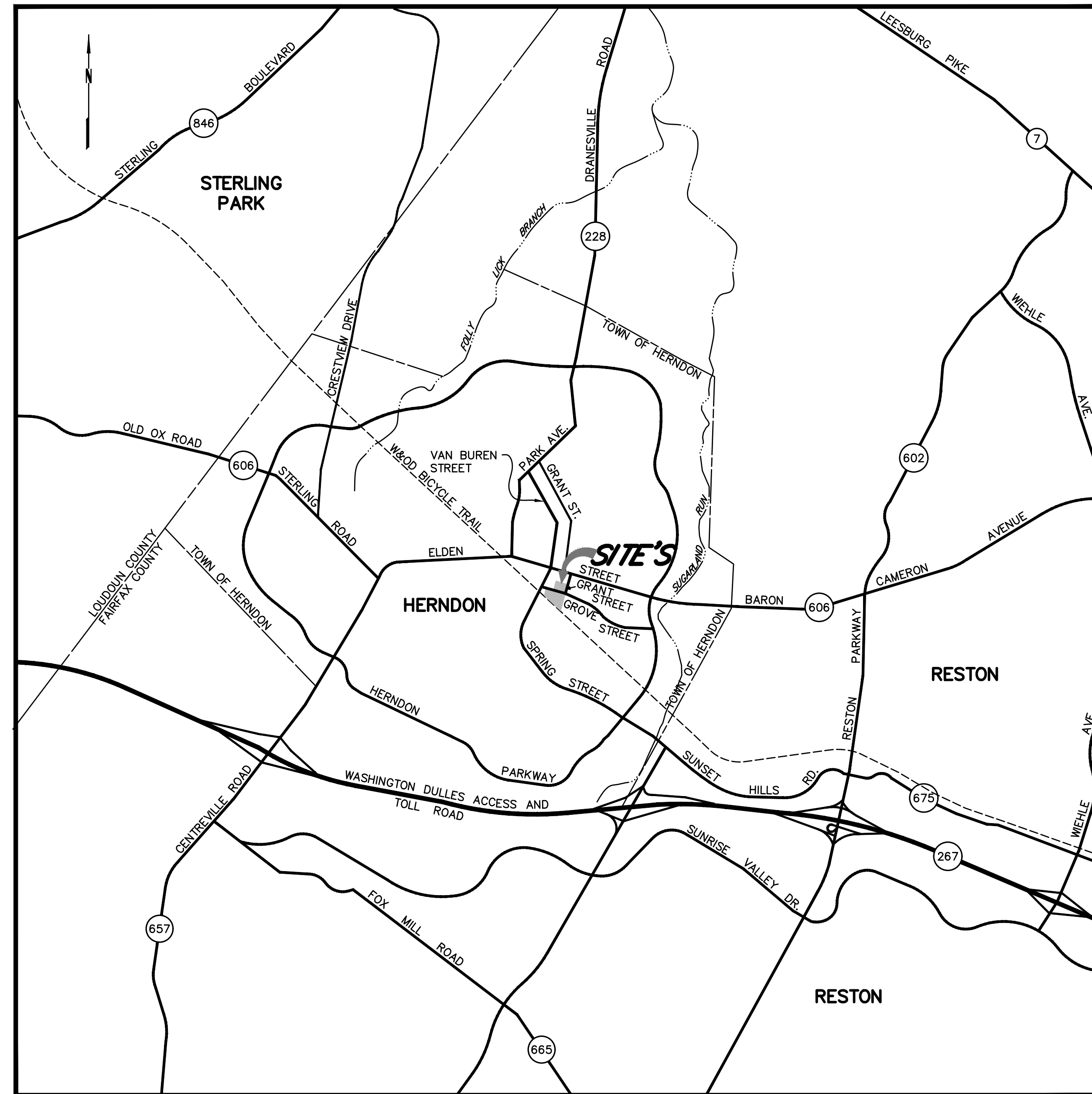
FAIRFAX COUNTY, VIRGINIA
TOWN OF HERNDON

COVER SHEET

DATE	REVISION	TOWN OF HERNDON COMMENTS
03.15.23		TOWN OF HERNDON COMMENTS
05.31.23		TOWN OF HERNDON COMMENTS
06.20.23		TOWN OF HERNDON COMMENTS

PM: IDB SCALE: AS SHOWN
PE: CMB DATE: 10.19.22
CO: CMB SHEET 1 OF 4

TOWN OF HERNDON FAIRFAX COUNTY, VIRGINIA



VICINITY MAP
SCALE: 1"=2000'

GENERAL NOTES

THE PROPERTIES SHOWN ON THIS PLAN ARE LOCATED IN THE TOWN OF HERNDON ON FAIRFAX COUNTY TAX MAP NO. 016-2(2)-PARCEL 190C AND PARCEL 203D.

- EXISTING ZONING: CS
- TOTAL SITE AREA: +/- 4.45 ACRES
- CURRENT OWNERS:

PARCEL/ADDRESS	OWNER/ADDRESS
016-2-(2)-190C 555 GRANT ST.	HERITAGE EDUCATION TRUST LLC, 4401 VILLAGE DR, FAIRFAX VA 22030
016-2-(2)-203D 500 GROVE ST.	SAFA TRUST INC, 500 GROVE ST, HERNDON VA 20170
- APPLICANT/DEVELOPER: HERITAGE EDUCATION TRUST LLC, & SAFA TRUST INC.
- PROPOSED ZONING: PD-B
- PROPOSED USE: POST SECONDARY EDUCATION, OFFICE, AND OTHER PERMITTED USES IN THE DISTRICT
- BOUNDARY AND TOPOGRAPHIC INFORMATION BY SURVEY PERFORMED BY TRI-TEK ENGINEERING (JULY, 2022). BOUNDARY BEARINGS AND COORDINATES ARE V.C.S. 1983 GRID NORTH SYSTEM. VERTICAL DATUM = NGVD 29 PER GPS CONTROL SURVEY DATED 7-18-22. UTILIZING NGS CONTROL STATIONS: DK4420 (MOSBY), HV9125 (FX CO GPS-136) HV5130 (HERNDON OPTRACK), HV9688 (FX CO GPS-79), HV9674 (FX CO GPS-65), DK 4390 (SUMEET-TEOTIA) AND HV8195 (HILLWOOD) WITH AN AVERAGE COMBINED SCALE AND ELEVATION FACTOR OF 0.99995052. HORIZONTAL RMS = 0.0871' VERTICAL RMS = 0.0643'
- THE SITE IS CURRENTLY SERVED BY PUBLIC WATER AND SEWER.
- PUBLIC UTILITIES CURRENTLY SERVE THE SITE.
- BASED ON AVAILABLE MAPS AND RECORDS, THERE IS NO RECORDED FLOOD PLAIN OR RESOURCE PROTECTION AREA (RPA) ON THE EXISTING PROPERTIES THAT IS THE SUBJECT OF THIS APPLICATION. THERE ARE NO SCENIC ASSETS OR NATURAL RESOURCES ON THESE PROPERTIES DESERVING PROTECTION.
- ALL UTILITY EASEMENTS ARE SHOWN ON THE PLAN BASED ON TITLE REPORTS PROVIDED BY RSL, INC./WALKER TITLE PER CASE NO. A2200662, EFFECTIVE DATE: JULY 19TH, 2022.
- BASED ON AVAILABLE MAPS AND RECORDS, THERE ARE NO KNOWN BURIAL SITES ON THESE PROPERTIES.
- TO THE BEST OF OUR KNOWLEDGE, THE PROPOSED DEVELOPMENT CONFORMS TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS.
- THE USE OF THE PROPERTY IS ANTICIPATED TO BEGIN FOLLOWING APPROVAL OF THE APPROPRIATE PLANS AND ISSUANCE OF PERMITS.
- ALL UTILITIES AND UTILITY POLES TO BE RELOCATED DUE TO THIS DEVELOPMENT SHALL BE DONE AT THE EXPENSE OF THE DEVELOPER AND ARE TO BE RELOCATED UNDERGROUND.
- "I HEREBY PROFFER THAT THE DEVELOPMENT OF THE SUBJECT PROPERTY OF THIS APPLICATION SHALL BE IN SUBSTANTIAL CONFORMITY WITH THE CONDITIONS SET FORTH IN THIS SUBMISSION".

APPLICANT: *[Signature]* DATE: 6/20/2023

ZONING STANDARDS	500 GROVE ST.	555 & 585 GROVE ST.	TOTAL
LOT AREA (SF)	51,714 SF	142,291 SF	194,005 SF
BUILDING AREA (SF)	31,280 SF	74,263 SF	105,543 SF
MAX FLOOR AREA RATIO – 0.4 (PERMITTED INCREASE BY COUNCIL BY 100%)	0.60	0.52	0.54
MAXIMUM HEIGHT – 45 FT	43.80 FT	39.60 FT	N/A
OPEN SPACE (MIN 20%)	10,504 SF (20.3%)	48,549 SF (34.1%)	59,053 SF (30.4%)

PARKING STANDARDS	500 GROVE ST.	555 & 585 GROVE ST.
PROPOSED USE	OFFICE/ POST SECONDARY EDUCATION	
PARKING REQUIREMENTS FOR OFFICE USE:	3.3 SPACES PER 1,000 SF OF GFA	
ALLOCATED OFFICE SPACE	2,100 SF	32,820 SF
OFFICE PARKING SPACES	6.9 SPACES	108.3 SPACES
PARKING REQUIREMENTS FOR POST SECONDARY EDUCATION USE:	1.5 SPACES FOR 2 STUDENTS	
NUMBER OF STUDENTS	124 STUDENTS	166 STUDENTS
EDUCATION PARKING SPACES	93.0 SPACES	124.5 SPACES
TOTAL REQUIRED PARKING SPACES	99.9 OR 100 SPACES	232.8 OR 233 SPACES
TOTAL PROVIDED PARKING SPACES	100 SPACES	233 SPACES
OVERALL PARKING SPACES	333 SPACES	

NOTE: PARKING TABULATIONS ARE BASED ON THE CURRENT OFFICE TENANTS AND THE ANTICIPATED USE OF THE UNIVERSITY. THESE USE AREAS MAY ADJUST OVER TIME BASED ON CORRESPONDING DEMANDS.

LOADING SPACES	500 GROVE ST.	555 & 585 GROVE ST.
REQUIRED	1 SPACE	2 SPACES
PROPOSED	1 SPACE	2 SPACES
ACCESSIBLE SPACES		
REQUIRED	5 SPACES	8 SPACES
PROPOSED	5 SPACES (3 VAN)	8 SPACES (2 VAN)
BICYCLE PARKING		
PROVIDED	4 SPACES	16 SPACES

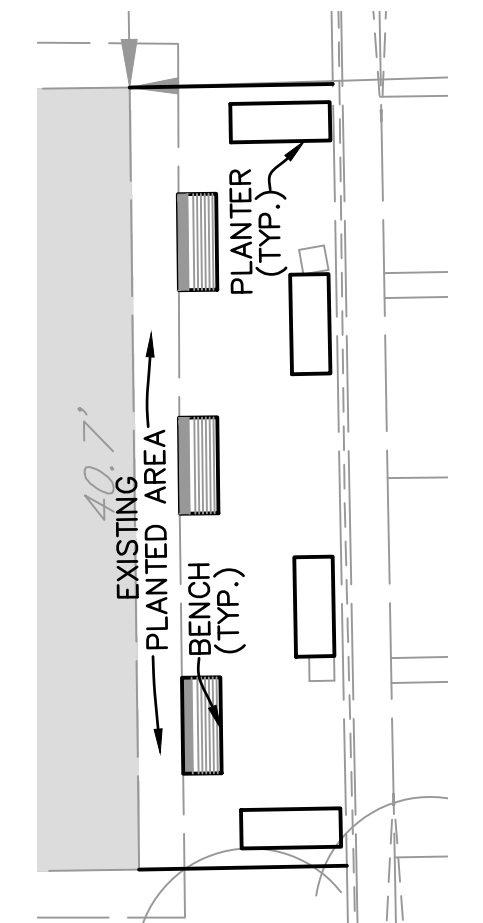
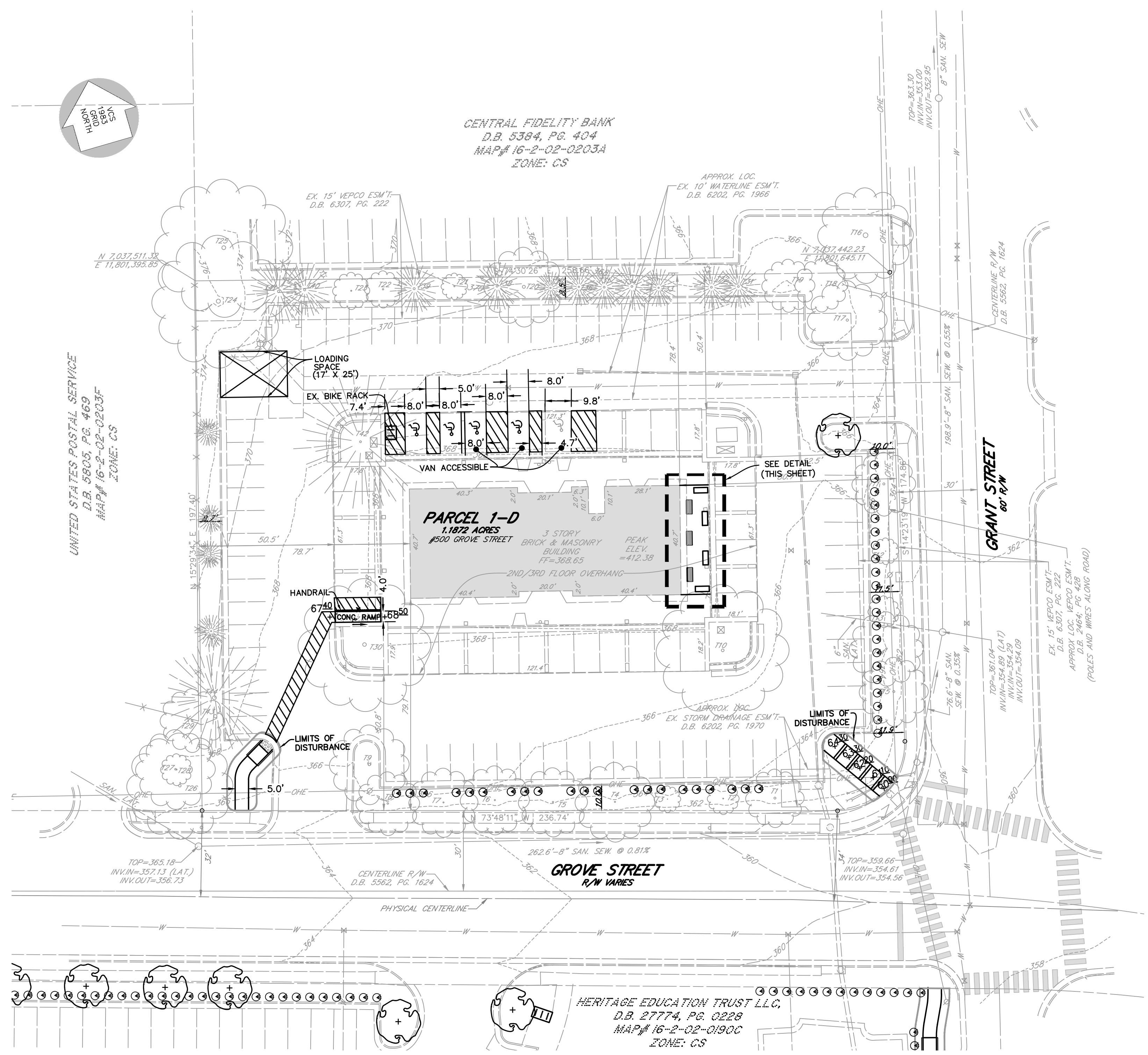
SHEET INDEX

- COVER SHEET
- GENERALIZED DEVELOPMENT PLAN – 500 GROVE STREET
- GENERALIZED DEVELOPMENT PLAN – 555 & 585 GROVE STREET
- BUILDING SIGNAGE EXHIBIT

NOTE: THE DEVELOPER RESERVES THE RIGHT TO PHASE THE DEVELOPMENT ON EACH RESPECTIVE PARCEL.

SCREENING BUFFER STRIPS	500 GROVE ST.	555 & 585 GROVE ST.
STREET/PARKING BUFFER		
REQUIRED:	10 FT	10 FT
PROVIDED:	11.5 FT (EAST), 10.0 FT (SOUTH)	7.6 FT (NORTH)
PERIMETER BUFFER STRIP		
REQUIRED (NORTH):	7.5 FT	N/A
PROVIDED (NORTH):	8.5 FT	N/A
REQUIRED (EAST):	N/A	7.5 FT
PROVIDED (EAST):	N/A	32.4 FT
REQUIRED (SOUTH):	N/A	7.5 FT
PROVIDED (SOUTH):	N/A	7.5 FT
REQUIRED (WEST):	7.5 FT	7.5 FT
PROVIDED (WEST):	8.7 FT	11.0 FT

DATE	REVISION
03.15.23	TOWN OF HERNDON COMMENTS
05.31.23	TOWN OF HERNDON COMMENTS
06.20.23	TOWN OF HERNDON COMMENTS



**EXTERIOR AMENITY
SPACE DETAIL**
SCALE: 1"=10'



BENCH DETAIL



PLANTER DETAIL

LANDSCAPE SCHEDULE

	SYMBOL	QUANTITY	PLANT TYPE
TREES		0	EVERGREEN TREES
		1	CANOPY TREES
SHRUBS		43	SHRUBS



BIKE RACK DETAIL

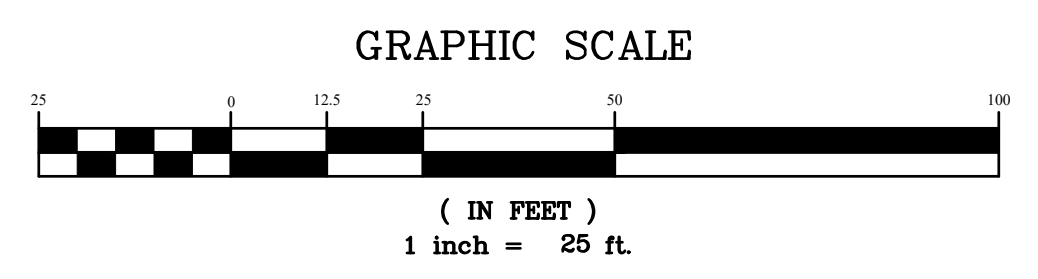
TREE TABLE

T1 0" X3 TREE	T20 11" TREE
T2 4" TREE	T21 1" X6 TREE
T3 2" TREE	T22 5" TREE
T4 5" X5 TREE	T23 7" TREE
T5 6" X3 TREE	T24 16" X2 TREE
T6 5" X6 TREE	T25 8" TREE, NEEDLE
T7 5" X4 TREE	T26 6" TREE, NEEDLE
T8 11" TREE	T27 8" TREE, NEEDLE
T9 12" X2 TREE	T28 9" TREE, NEEDLE
T10 8" TREE	T29 10" TREE, NEEDLE
T11 2" TREE	T30 8" X2 TREE, NEEDLE
T12 2" TREE	T31 14" TREE, NEEDLE
T13 2" TREE	T32 5" TREE, NEEDLE
T14 2" X5 TREE	T33 9" TREE, NEEDLE
T15 9" X3 TREE	T34 2" TREE, NEEDLE
T16 21" TREE	T35 10" TREE, NEEDLE
T17 10" TREE	T36 8" X2 TREE, NEEDLE
T18 2" X5 TREE	T37 14" TREE, NEEDLE
T19 2" X5 TREE	T38 5" TREE, NEEDLE
T20 13" TREE	T39 9" TREE, NEEDLE
T21 5" TREE	T40 2" TREE, NEEDLE
T22 6" TREE	T41 2" TREE, NEEDLE
T23 5" TREE	T42 2" TREE, NEEDLE
T24 16" TREE	T43 2" TREE, NEEDLE

LEGEND

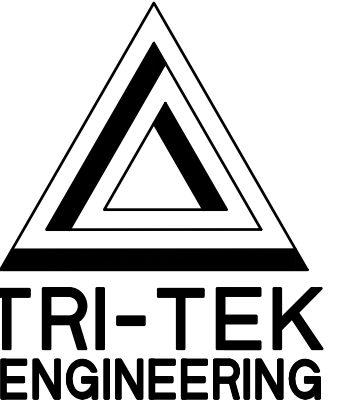
	SIGN
	AIR CONDITIONER
	LIGHT POLE
	GUY WIRE
	POWER POLE
	WATER VALVE
	FIRE HYDRANT
	UTILITY MANHOLE
	SANITARY MANHOLE
	STORM MANHOLE
	DROP INLET GRATE
	HANDICAP PARKING SPACE
	FENCE
	OVERHEAD ELECTRIC
	WATERLINE
	CURB
	CURB & GUTTER

** PROPOSED IMPROVEMENTS SHOWN ON 555/585 GROVE STREET ARE FOR REFERENCE ONLY FOR THE GDP. CONSTRUCTION OF THESE IMPROVEMENTS ARE SUBJECT TO THE OWNER/DEVELOPERS PHASING FOR THIS PROPERTY.



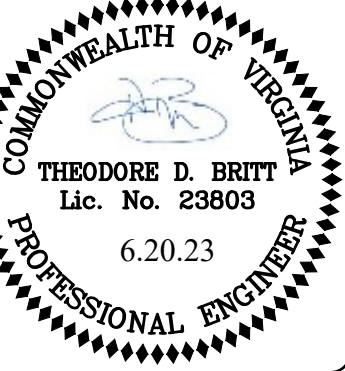
- NOTE:**
1. ALL ADA SPACES WILL MEET ADA REGULATIONS AT THE TIME OF SITE PLAN.
 2. FINAL TREE SPECIES TO BE DETERMINED AT THE TIME OF SITE PLAN. THE MAJORITY OF SPECIES PROVIDED SHALL BE NATIVE SELECTION.
 3. ANALYSIS OF EXISTING/PROPOSED PLANT MATERIAL TO MEET THE INTENT OF ZONING ORDINANCE SECTIONS 78-110.3, 78-110.4, AND 78-110.5 WILL BE PROVIDED AT TIME OF SITE PLAN.
 4. STORMWATER REQUIREMENTS WILL BE ADDRESSED AT THE TIME OF SITE PLAN SUBMISSION.





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**FAIRFAX UNIVERSITY
- HERNDON CAMPUS**

**GENERALIZED DEVELOPMENT
PLAN - 555 & 585 GROVE
STREET**

FAIRFAX COUNTY, VIRGINIA
TOWN OF HERNDON

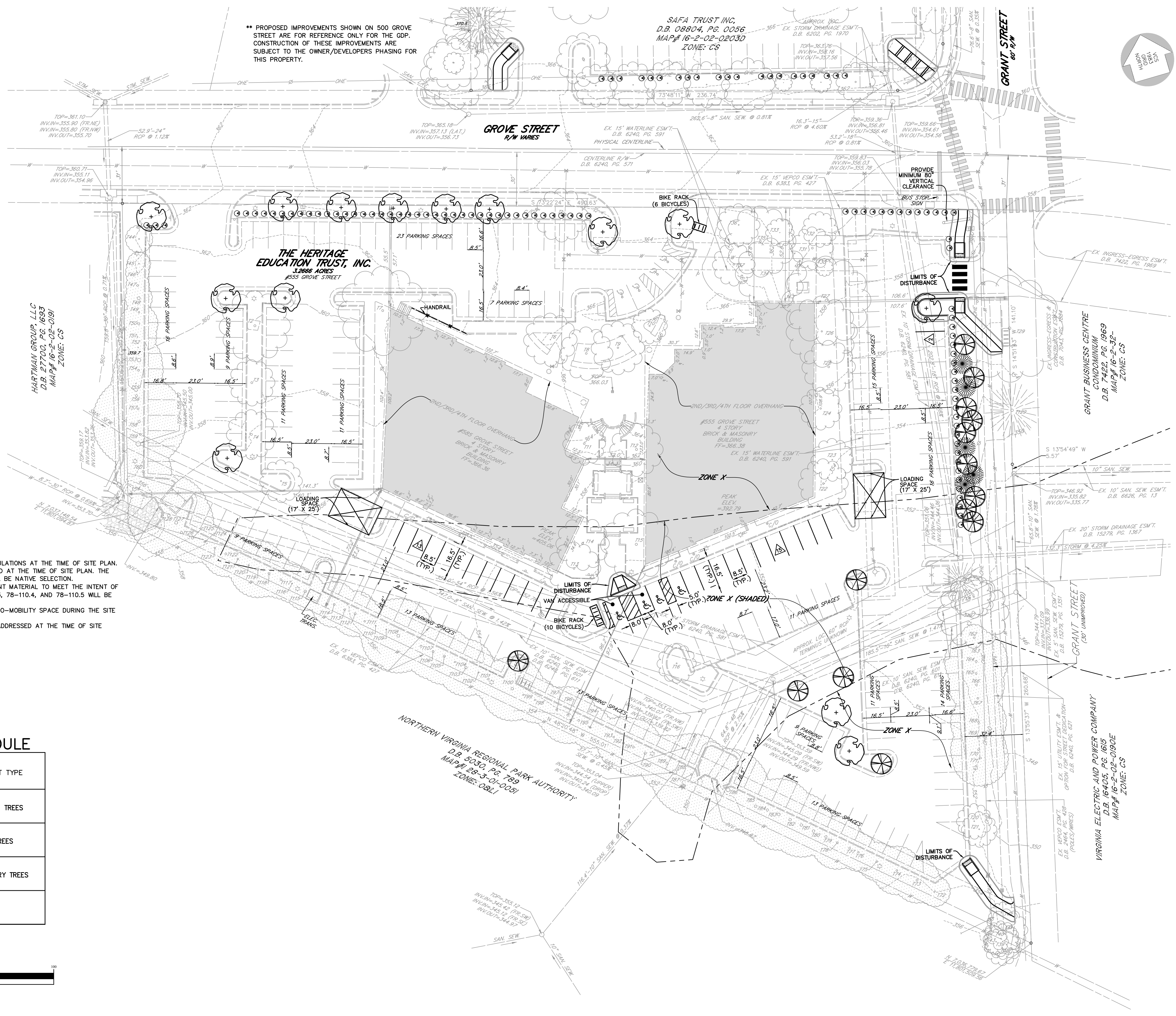
DATE	REVISION
03.15.23	TOWN OF HERNDON COMMENTS
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PM: IDB SCALE: 1"=25'
PE: CMB DATE: 10.19.22
CO: CMB SHEET 3 OF 4

TREE TABLE

71 7" X4 TREE	166 12" TREE, NEEDLE
72 14" TREE	167 12" TREE, NEEDLE
73 13" TREE	168 12" TREE, NEEDLE
74 14" TREE	169 12" TREE, NEEDLE
75 8" TREE	170 12" TREE, NEEDLE
76 5" TREE	171 12" TREE, NEEDLE
77 13" TREE	172 7" TREE, NEEDLE
78 12" TREE	173 12" TREE, NEEDLE
79 10" TREE	174 12" TREE, NEEDLE
80 8" TREE	175 12" TREE, NEEDLE
81 12" TREE	176 10" TREE, NEEDLE
82 14" TREE	177 12" TREE, NEEDLE
83 11" TREE	178 12" TREE, NEEDLE
84 12" TREE	179 15" TREE, NEEDLE
85 15" TREE	180 12" TREE, NEEDLE
86 7" TREE	181 17" TREE, NEEDLE
87 6" TREE	182 17" TREE, NEEDLE
88 11" TREE	183 17" TREE, NEEDLE
89 16" TREE	184 15" TREE, NEEDLE
90 6" X2 TREE	185 18" TREE, NEEDLE
91 6" X2 TREE	186 25" TREE, NEEDLE
92 11" TREE	187 12" X2 TREE, NEEDLE
93 6" TREE	188 9" X2 TREE, NEEDLE
94 10" TREE	189 15" TREE, NEEDLE
95 12" TREE	190 16" TREE, NEEDLE
96 9" TREE	191 12" TREE, NEEDLE
97 16" TREE	192 14" TREE, NEEDLE
98 18" TREE	193 17" TREE, NEEDLE
99 2" TREE	194 11" TREE, NEEDLE
100 12" TREE	195 13" TREE, NEEDLE
101 6" TREE	196 15" TREE, NEEDLE
102 3" TREE	197 12" TREE, NEEDLE
103 10" TREE	198 9" X2 TREE, NEEDLE
104 12" TREE	199 9" X2 TREE, NEEDLE
105 12" TREE	200 17" TREE, NEEDLE
106 6" X3 TREE	201 11" TREE, NEEDLE
107 5" TREE	202 8" TREE, NEEDLE
108 5" TREE	203 17" TREE, NEEDLE
109 6" TREE	204 9" TREE, NEEDLE
110 7" X3 TREE	205 10" X2 TREE, NEEDLE
111 3" TREE	206 14" TREE, NEEDLE
112 3" TREE	207 14" TREE, NEEDLE
113 10" TREE	208 14" TREE, NEEDLE
114 5" TREE	209 14" TREE, NEEDLE
115 14" TREE	210 14" TREE, NEEDLE
116 6" X3 TREE, NEEDLE	211 17" TREE, NEEDLE
117 4" X2 TREE, NEEDLE	212 7" TREE, NEEDLE
118 24" TREE, NEEDLE	213 7" X2 TREE, NEEDLE
119 13" TREE, NEEDLE	214 13" TREE, NEEDLE
120 5" X4 TREE, NEEDLE	215 15" TREE, NEEDLE
121 14" TREE, NEEDLE	216 9" TREE, NEEDLE
122 12" TREE, NEEDLE	217 11" X2 TREE, NEEDLE
123 15" TREE, NEEDLE	218 13" TREE, NEEDLE
124 14" TREE, NEEDLE	219 15" TREE, NEEDLE
125 14" TREE, NEEDLE	220 9" TREE, NEEDLE
126 12" TREE, NEEDLE	221 9" X2 TREE, NEEDLE
127 12" TREE, NEEDLE	222 13" TREE, NEEDLE
128 14" TREE, NEEDLE	223 13" TREE, NEEDLE
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159 14" TREE, NEEDLE	254 13" TREE, NEEDLE
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161 14" TREE, NEEDLE	256 13" TREE, NEEDLE
162 14" TREE, NEEDLE	257 13" TREE, NEEDLE
163 14" TREE, NEEDLE	258 13" TREE, NEEDLE
164 14" TREE, NEEDLE	259 13" TREE, NEEDLE
165 14" TREE, NEEDLE	260 13" TREE, NEEDLE

** PROPOSED IMPROVEMENTS SHOWN ON 500 GROVE STREET ARE FOR REFERENCE ONLY FOR THE GDP. CONSTRUCTION OF THESE IMPROVEMENTS ARE SUBJECT TO THE OWNER/DEVELOPERS PHASING FOR THIS PROPERTY.

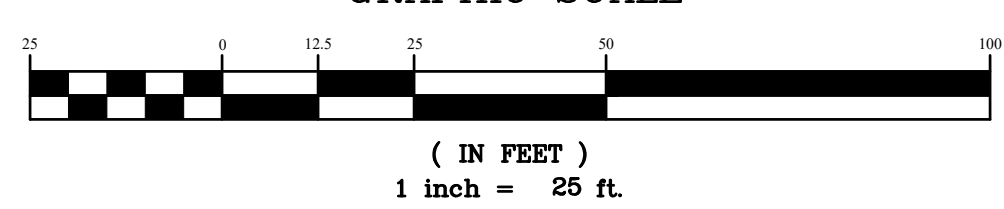


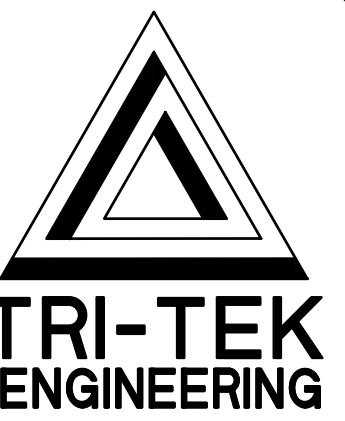
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 4. AN AREA WILL BE IDENTIFIED FOR MICRO-MOBILITY SPACE DURING THE SITE PLAN REVIEW.
 5. STORMWATER REQUIREMENTS WILL BE ADDRESSED AT THE TIME OF SITE PLAN SUBMISSION.

LANDSCAPE SCHEDULE

	SYMBOL	QUANTITY	PLANT TYPE
TREES		5	EVERGREEN TREES
		14	CANOPY TREES
		14	UNDERSTORY TREES
SHRUBS		92	SHRUBS

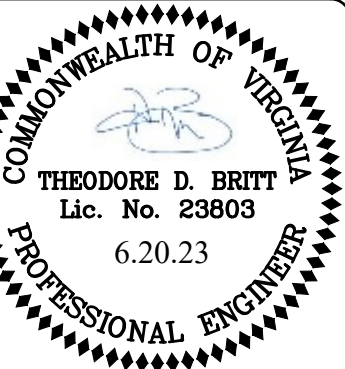
GRAPHIC SCALE





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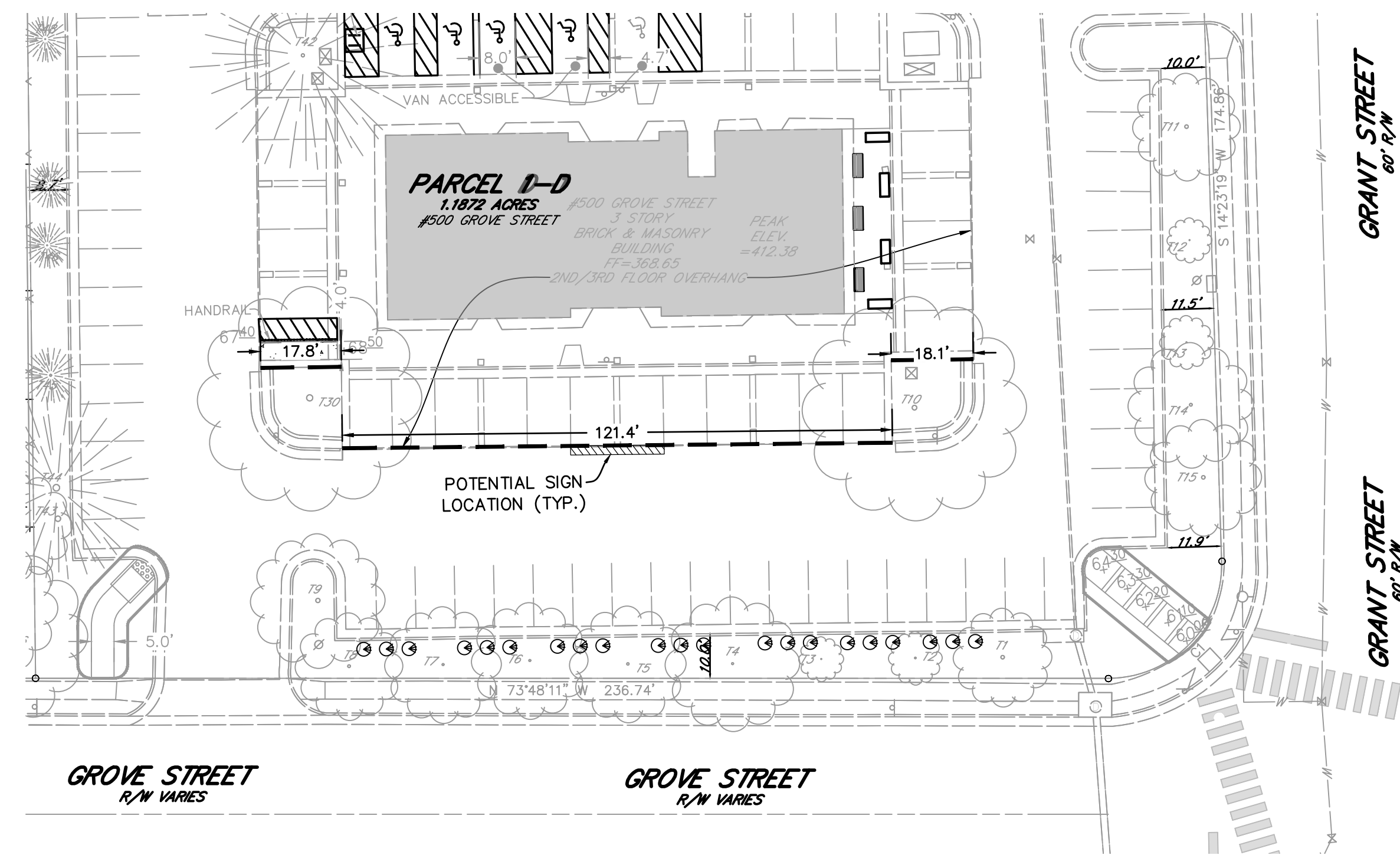
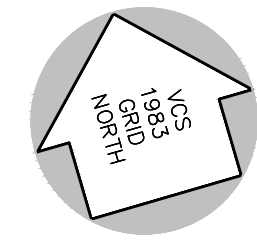
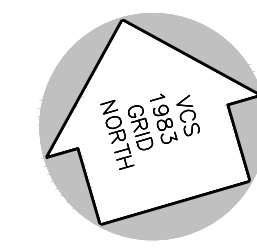
FAIRFAX UNIVERSITY - HERNDON CAMPUS

FAIRFAX COUNTY, VIRGINIA TOWN OF HERNDON

BUILDING SIGNAGE EXHIBIT

Table with 2 columns: DATE, REVISION. Contains revision history for the drawing.

PM: IDB SCALE: 1"=25' PE: CMB DATE: 10.19.22 CO: CMB SHEET 4 OF 4



500 GROVE STREET SIGNAGE CALCULATIONS (FACING GROVE STREET)

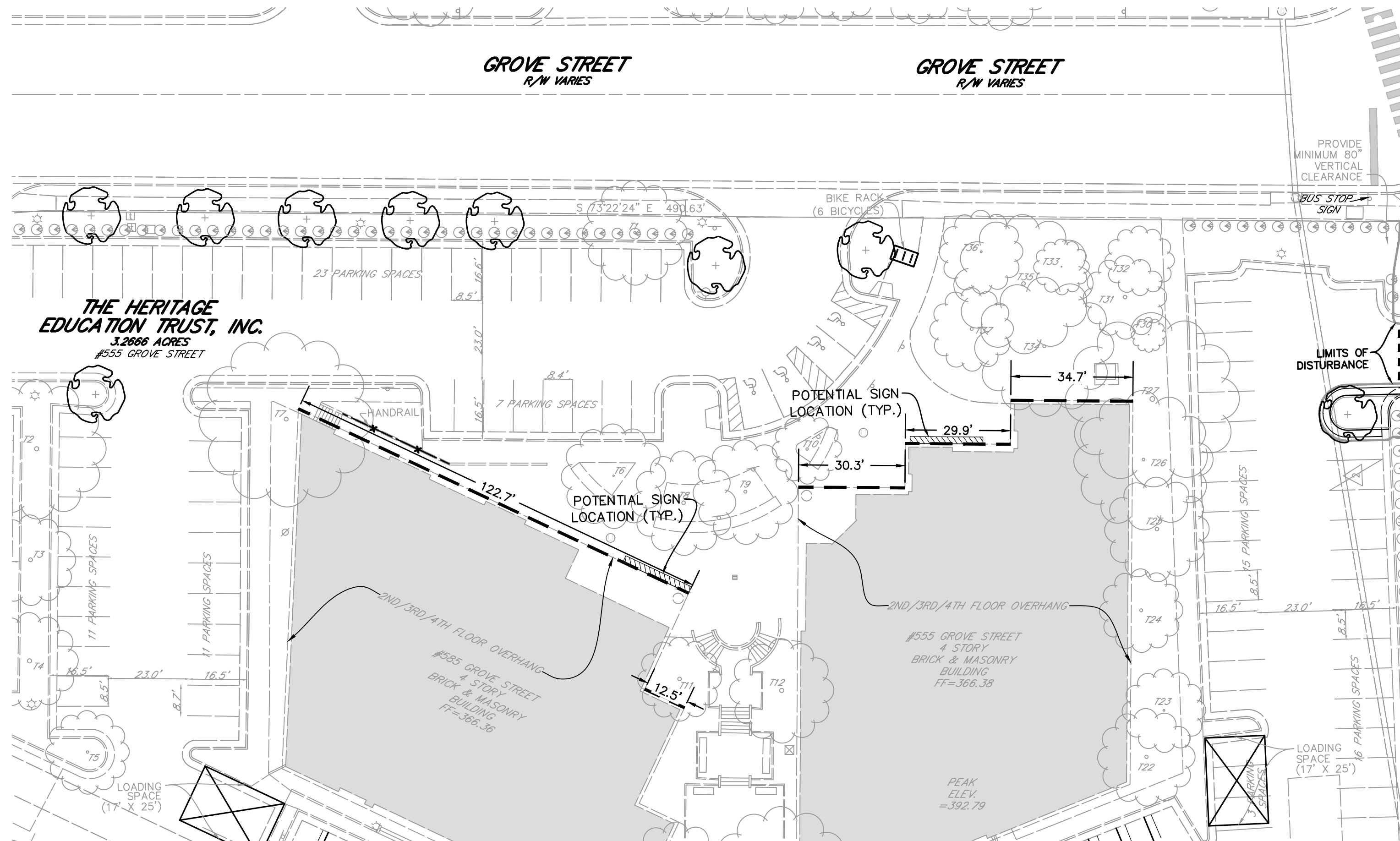
TOTAL LENGTH OF BUILDING FRONTAGE: 157.3'
1.5 SF/LF FOR FIRST 100 FT OF FRONTAGE: 100' * 1.5 SF/LF = 150 SF
1.0 SF/LF FOR REMAINING FRONTAGE LENGTH: 57.3' * 1.0 SF/LF = 57.3 SF
TOTAL ALLOWABLE SIGN SF: 150 SF + 57.3 SF = 207.3 SF (MAXIMUM ALLOWED SF IS 200 SF) ~ 200 SF
PROPOSED SIGN SF: 48 SF.

BUILDING MOUNTED SIGNAGE



- NOTE:
1. SIGN SIZE IS 2'X24". TOTAL SIGN AREA IS 48 SF.
2. THE BUILDING SIGNAGE DESIGN IS NOT FINAL AND IS SUBJECT TO STAFF REVIEW UNDER A SEPARATE COVER.

LEGEND
--- BUILDING FRONTAGE
/// POTENTIAL SIGN LOCATION



555 GROVE STREET SIGNAGE CALCULATIONS

TOTAL LENGTH OF BUILDING FRONTAGE: 135.2'
1.5 SF/LF FOR FIRST 100 FT OF FRONTAGE: 100' * 1.5 SF/LF = 150 SF
1.0 SF/LF FOR REMAINING FRONTAGE LENGTH: 35.2' * 1.0 SF/LF = 35.2 SF
TOTAL ALLOWABLE SIGN SF: 150 SF + 35.2 SF = 185.2 SF
PROPOSED SIGN SF: 48 SF.

585 GROVE STREET SIGNAGE CALCULATIONS

TOTAL LENGTH OF BUILDING FRONTAGE: 94.9'
1.5 SF/LF FOR FIRST 100 FT OF FRONTAGE: 94.9' * 1.5 SF/LF = 142.4 SF
1.0 SF/LF FOR REMAINING FRONTAGE LENGTH: N/A
TOTAL ALLOWABLE SIGN SF: 142.4 SF
PROPOSED SIGN SF: 48 SF.

